

CITY OF COUNCIL BLUFFS

SPECIFICATIONS
FOR

DRIVEWAY APPROACH CONSTRUCTION

209 Pearl Street
Council Bluffs, IA 51503

Phone 328-4634

REVISED
JANUARY 1, 2007

SPECIFICATIONS FOR DRIVEWAY APPROACH CONSTRUCTION

1.0 INTRODUCTION

1.1 PURPOSE AND INTENT

The purpose of this specification is to outline the information required in order to properly evaluate an application for a driveway approach and indicate acceptable design standards for their location and construction.

The efficiency and safety of a street depends on the amount and character of interferences affecting vehicles moving along it. Major interferences are caused by vehicles entering, leaving, or crossing at intersecting streets and driveways. In order to minimize accidents and to assure best overall use of the street facility by the public, it is necessary to regulate vehicle movements in and out of abutting property and cross streets.

With respect to driveways, road users have certain rights of access to abutting property as well as the right to travel on the street with relative safety and freedom from interference. Since these rights sometimes conflict, the City has the responsibility for reconciling and satisfying the needs and rights of all road users with respect to driveway location, design, and operation. Resolution of conflicts in all cases shall be resolved in favor of the safe and efficient use of the roadway. An important principle in this regard is that direct driveway access to abutting property represents a service to the traveling public and is not a concession to property owners.

1.2 Terminology

The following definitions and classifications shall apply throughout this specification:

1.2.1 RESIDENTIAL DRIVEWAY – A residential driveway is one providing access to a single parcel of land containing five or less dwelling units.

1.2.2 COMMERCIAL DRIVEWAY – A commercial driveway is one providing access to office, retail, or institutional buildings or apartment buildings having more than five dwelling units. Such buildings are customarily serviced by trucks as an incidental rather than primary driveway use.

1.2.3 INDUSTRIAL DRIVEWAY – An industrial driveway is one directly serving a substantial number of truck movements to and from loading docks of an industrial facility, warehouse, or truck terminal.

2.0 PERMIT APPLICATION

2.1 PERMIT

Prior to beginning any work on a driveway approach, a driveway approach permit shall be obtained from the City of Council Bluffs Public Works Department, Right of Way section. Although the permit is in effect for **2 months**, all work shall be completed within 10 days after work commences. Permits can be obtained at Right of Way Division of Public Works at City Hall 2nd Floor located at 209 Pearl Street, Council Bluffs IA. Normal hours for permit issuance are Monday through Friday 8:00A.M. to 5:00P.M.

INFORMATION REQUIRED FOR PERMIT APPLICATION

Chapter 10 of the City Code outlines permit requirements for driveway approach construction. The minimum information required is as follows:

1. Name and address of every person, firm, or corporation having a vested interest in the parcel of land to be served by the proposed drive approach.
2. The street address or other information identifying the parcel of land.
3. The scheduled dates for commencement and completion of the driveway construction.
4. A plat, to scale, showing the dimensions of the parcel of land, location, and nature of all improvements existing or proposed on the parcel, and the location and dimensions of proposed or existing drive approaches.
5. Any other information that may be required in order to evaluate the application.

PLAT REQUIREMENTS FOR RESIDENTIAL DRIVEWAY APPROACHES

The plat submitted for a residential driveway approach shall contain the following specific information. The attached residential drive approach sketch sheet can be used:

- 1). It shall be drawn on 8 ½" X 11" paper with a scale of 1"= 20' or may be submitted on the attached sketch sheet.
- 2). It shall show the location and dimensions of existing or proposed drives and the locations of existing or proposed buildings on the parcel.
- 3). It shall show the location of any driveway approaches on the parcels immediately adjacent.
- 4). It shall show the width of the abutting street and the distance to the nearest cross street.

- 5). It shall have an accurate north arrow and all information shown shall be clear and legible.

PLAT REQUIREMENTS FOR COMMERCIAL AND INDUSTRIAL DRIVEWAY APPROACHES

The plat submitted for commercial and industrial driveway approaches shall contain the following specific information:

- 1). Three copies shall be submitted on 24" X 36" or 11" X 17" paper depending on the size of the parcel and the scale used. The drawing shall be at a scale of 1" = 20' except that a scale of 1" = 50' may be used on a 24" X 36" sheet if necessary to contain all the required information.
- 2). The plat shall have an accurate north arrow and a vicinity sketch showing the relative location of the site to an approximate scale of 1" = 20'.
- 3). The plat shall accurately show the location and dimensions of any existing or proposed building, any existing or proposed drives, parking facilities, traffic islands, and traffic controls.
- 4). The plat shall show the location of any driveway approaches to adjacent parcels.
- 5). The plat shall accurately show the dimensions of abutting streets as well as the nearest cross street.

If more than one driveway approach is applied for any given parcel of land, it will be necessary to supply the following additional information:

- 1). Proposed peak hour traffic volumes entering and existing from each approach.
- 2). Existing peak hour traffic volumes on the adjacent streets.
- 3). The expected distribution of traffic generated from the site.

If the Director of Public Works determines it is necessary, a traffic impact study prepared by a qualified traffic engineer who is an Iowa Professional Engineer will be submitted by the applicant.

2.2 PERMIT APPROVAL AND INSPECTION PROCEDURE

Upon submission of all the necessary information, the Public Works Department will conduct field review to verify the information submitted. If all the requirements of the City Code and this specification are met, the applicant will be contacted as to issuance of the permit. Normally this review takes a week to accomplish but the actual time can vary from three days to several weeks depending on the complexity of the project.

Once construction is started, the Public Works inspector may check on the site occasionally to assess progress. Before the concrete pour takes place it is necessary to have an inspection of the forms. The permittee must contact this office 24 hours in

advance to arrange for this inspection. Failure to do so could result in rejection of the work.

Upon completion of all work related to the driveway approach construction, the permittee must contact the inspection office within 48 hours and request a final inspection.

3.0 DESIGN & CONSTRUCTION STANDARDS

GENERAL

- 1.0 GENERAL:** Construction, workmanship and materials shall be in accordance with Urban Standard Specifications For Public Improvements and Urban Design Standards– 2007 Edition and the City of Council Bluffs Supplemental specifications to the standards.
- 2.0 INSPECTION:** CITY INSPECTION IS REQUIRED AFTER APPROACH IS FORMED AND AFTER PLACING CONCRETE. PHONE 328-4634 24 HOURS IN ADVANCE FOR INSPECTION.
- 3.0 DRIVEWAY POSITIONING & SPACING:** For residential use, a maximum one driveway approach will be permitted per parcel, provided there is not access from an alley. In such cases, street access may be refused. A second residential driveway approach will be considered if the parcel is large enough to maintain a clear distance of forty (40) feet at the curb line between the parcel's two driveways. For commercial and industrial uses, more than one approach per parcel will be considered when the site and street frontage is sufficient to accommodate multiple accesses, the traffic demand from a single point of access exceeds the capacity, or when a combination of one-way entrance/exits promotes more efficient traffic circulation.
- 4.0 SIGHT DISTANCES:** Each permit application will be field checked to assure that adequate sight distances are available in accordance with the Urban Design Standards. Additional traffic controls may be required before a permit will be issued.
- 5.0** Do not allow water to accumulate or to saturate the subgrade. Protect subgrade from washout. Remove ponded water from the excavation immediately.
- 6.0** The excavation and completed construction shall be protected from vehicle and pedestrian traffic with barricades equipped with flashing lights.
- 7.0** A. If there is an existing curb and it is not the drive over type the curb shall be milled to provide a 2 inch lip curb.
- B. If work involves an existing driveway that has a lugout into the street pavement the following shall apply
1. For integral curb remove existing lugout and construct a new lugout a minimum of 24 inch in width. This may require full depth sawcut if the existing lugout is not 24 inch wide. New lugout shall be tied to street pavement with 24 inch x 5/8 inch deformed rebar. Rebar shall be drilled and

grouted with epoxy into existing concrete pavement as per standard detail. New lugout shall be formed to back of existing curb. An optional expansion joint may be placed at back of curb. The new lugout section shall be formed with a 2 inch lip curb.

2. If the approach has an integral concrete curb and gutter section, remove existing curb and gutter section as required and construct a new section. New section shall be tied to pavement with 24 inch x 5/8 inch deformed rebar. Rebar shall be drilled and grouted into existing pavement (concrete or Asphalt) as per standard detail. New section shall be formed to back of existing curb. An optional expansion joint may be placed at back of curb. The new section shall be formed with a 2 inch lip curb.

8.0 DRIVEWAY APPROACH GRADES: The longitudinal grades shall be within the limits as shown the attached Standard detail.

9.0 SURFACING: On all streets with curbing, the driveway approach shall be constructed of Portland Cement Concrete. On streets that are not curbed, the driveway approach may be constructed of material that is considered equal to or better then the street surface. The quality of street surfacing shall be considered in the following descending order:

1. Portland Cement Concrete
2. Asphalt Cement Concrete
3. Asphalt treated surface (oil)
4. Crushed rock or gravel
5. Other unpaved

A brick street surface shall be considered as Portland Cement Concrete.

10.0 WIDTH: For residential driveways the minimum width at the property line shall be 10 feet. The maximum residential driveway width at the property line for a two car garage shall be 24 feet. The maximum residential driveway width at the property line for a 3 car garage shall be 36 feet. For 4 car garage or more the maximum residential driveway width at the property line shall be 40 feet. Standard 3 foot flares shall be constructed on all driveways 24 feet and over in width.

11.0 MINIMUM THICKNESS:** The following minimum driveway approach thicknesses shall apply:

<u>Type</u>	<u>Portland Cement Concrete</u>	<u>Asphaltic Cement Concrete or Equivalent to existing ACC Street</u>	<u>Crushed Rock</u>
Residential	6"	8" or 6" ACC plus 6" crushed rock	6"
Commercial	7"	10" or 8" ACC plus 6" crushed rock	6"
Industrial	8"	12" or 10" ACC plus 6" crushed rock	6"

****:** See Design & construction Standards Paragraph 9 SURFACING for type of surfacing required.

12.0 INSURANCE REQUIREMENTS:

13.07.170 Insurance Requirements

A general contractor shall furnish to the city clerk a certificate of insurance, subject to approval by the city attorney, evidencing commercial general liability insurance coverage or its equivalent in the minimum amount of one million dollars (\$1,000,000.00) per occurrence for bodily injury, including death or damage to property of others, arising out of work performed or responsibilities assumed under the license. The aggregate limit shall be no less than one million dollars (\$1,000,000.00). In addition, the general contractor shall furnish a certificate of insurance, subject to approval by the city attorney, evidencing worker's compensation insurance sufficient to satisfy the laws of the state of Iowa; employer's liability insurance in the minimum amount of one hundred thousand dollars (\$100,000.00); and auto liability insurance in the minimum amount of one million dollars (\$1,000,000.00). These limits may be provided by any combination of primary and excess policies. The insurance company shall endeavor to provide thirty (30) days' notice of cancellation or nonrenewal to the city clerk. (Ord. 5847 § 2, 2005).

**City Clerk
209 Pearl Street
Council Bluffs, IA 51503**

MATERIALS

1.0 Concrete for driveways shall be IDOT mix C-V47B or C-6

2.0 Hot Mix Asphalt and Rock Driveways:

All materials used shall conform to applicable sections of the most current IDOT Standards and Specifications for Highway and Bridge Construction. ACC shall be a mix design approved by the Public Works Director. Crushed rock shall be Class A limestone.

EXECUTION

1.0 PLACEMENT

Concrete shall be vibrated with a mechanical vibrator or "jogged" with a shovel to insure uniform consolidation and eliminate voids.

2.0 FINISHING

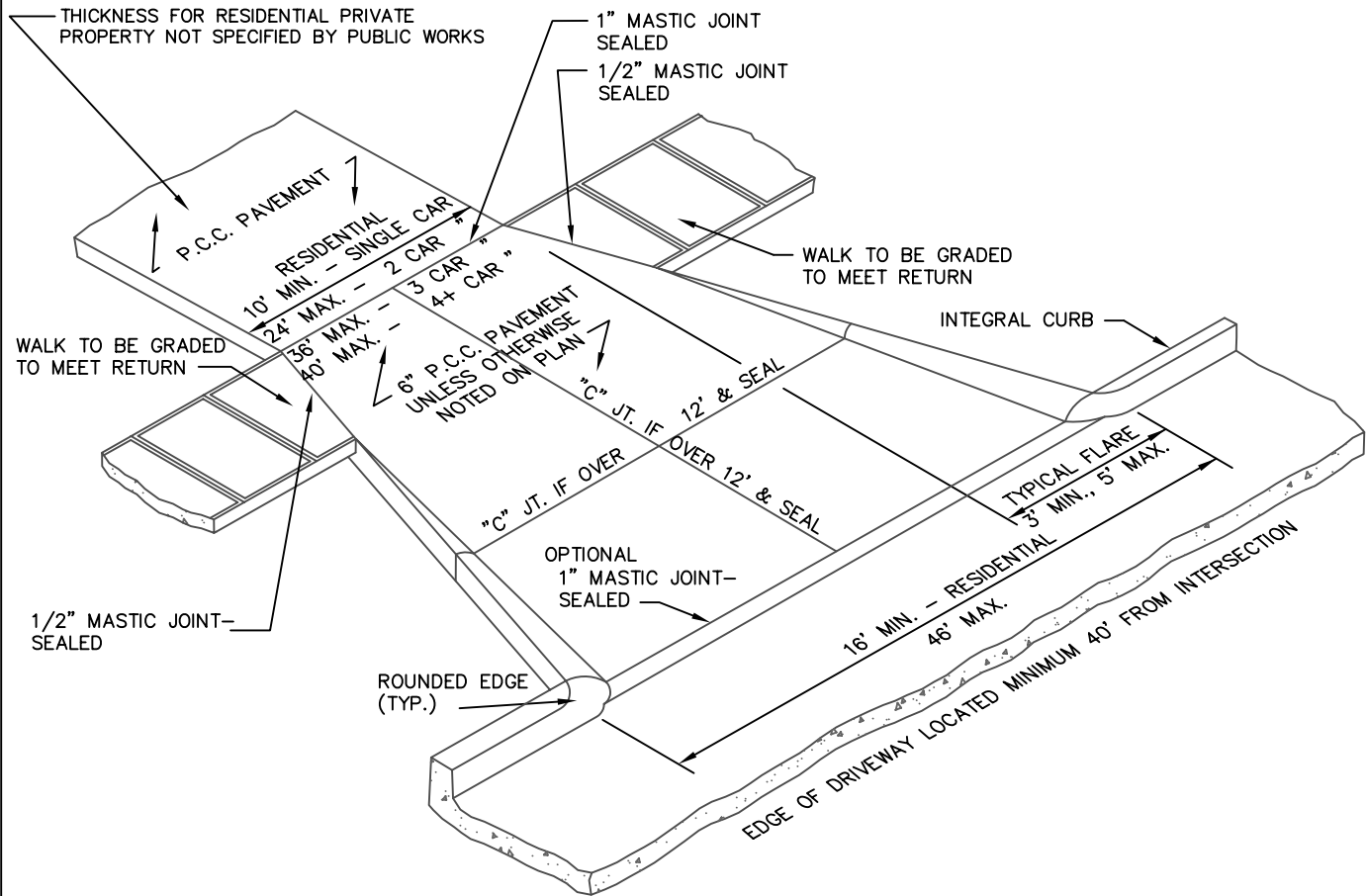
1. After consolidation, the concrete surface shall be floated with wood floats to a uniform granular texture free of irregularities and true to line and grade. The addition of superficial water is prohibited. After floating, the surface shall be given a final finish by means of a wet burlap or carpet drag drawn over the full width of surface in a longitudinal direction.

2. After the surface has been finished, the edges of the slabs shall be finished with a suitable edging tool.
3. Integral curb, when required, shall be constructed in accordance with the requirements of the City of Council Bluffs.
4. The finished concrete shall be sealed with a white pigmented curing compound as directed by the inspector.

4.0 JOINTING

1. Preformed expansion joint filler shall be placed at locations and in accordance with the Standards of the City of Council Bluffs and double-edged while the concrete is plastic.
2. Driveways shall be divided into blocks approximately square as directed by the Inspector, the concrete scored to a depth of one and one-half (1 ½) inches along these lines, and double-edged.
3. Longitudinal joints will not be required unless the driveway width exceeds ten (10) feet. If required, they shall be constructed as specified in Paragraph 2 above. Transverse joints shall be constructed at breaks in the grade of driveway and shall conform to the pattern as specified in Paragraph 2 above.
4. Joints shall be sealed with meadows “SOF-SEAL” or approved equal joint sealer as directed by the Inspector.

CITY OF COUNCIL BLUFFS PUBLIC WORKS

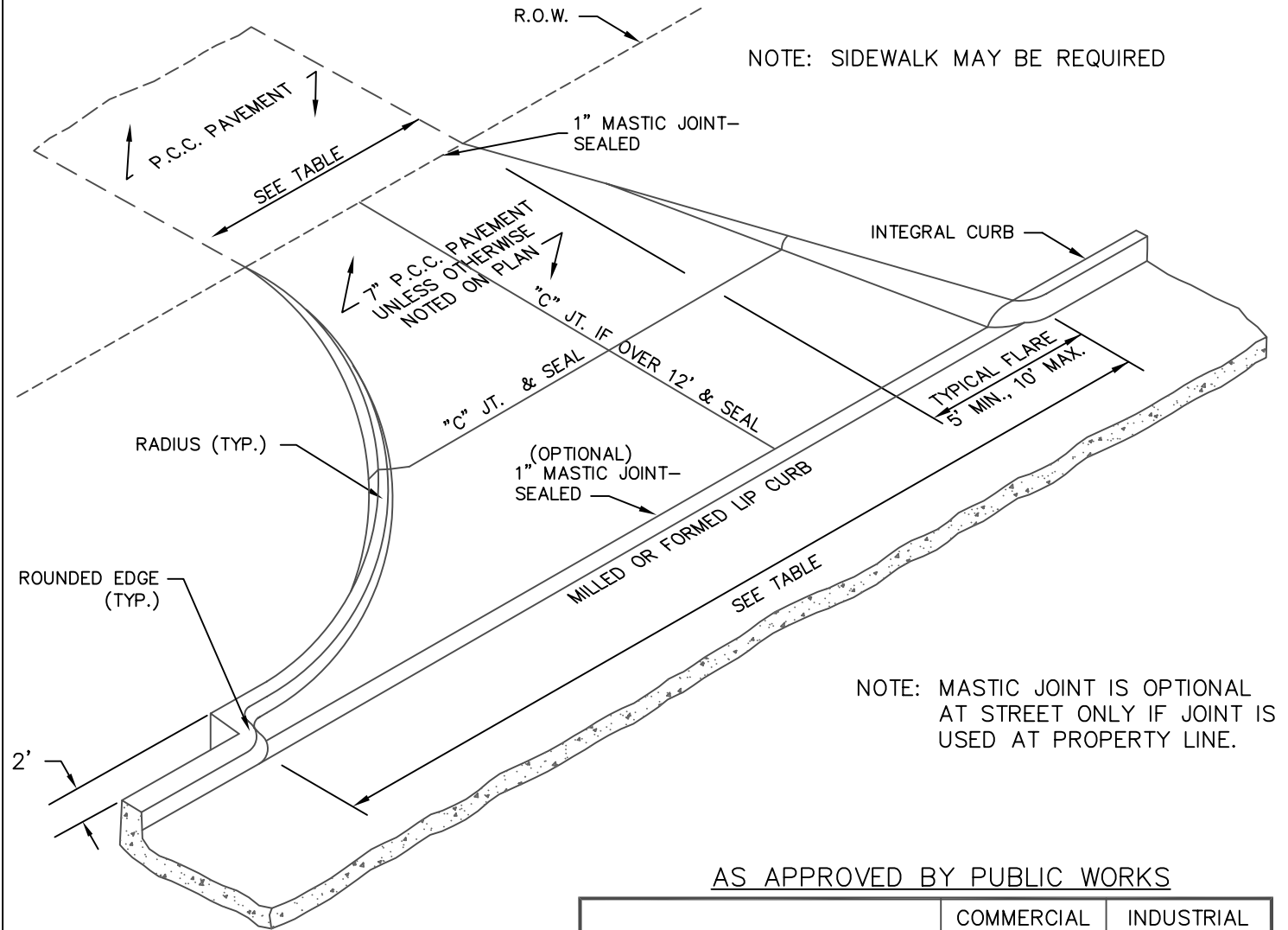


CITY INSPECTION IS REQUIRED AFTER APPROACH IS FORMED PRIOR TO CONCRETE PLACEMENT. FINAL INSPECTION REQUIRED WITHIN 48 HOURS OF CONCRETE PLACEMENT. PHONE 328-4635 24 HOURS IN ADVANCE FOR INSPECTIONS.

SEE DESIGN AND CONSTRUCTION STANDARDS AND DRAWINGS FOR WIDTHS, THICKNESS, FINISH AND MATERIALS REQUIREMENTS.

STANDARD 3 FOOT FLARES SHALL BE CONSTRUCTED ON ALL DRIVEWAYS 24 FEET AND OVER IN WIDTH.

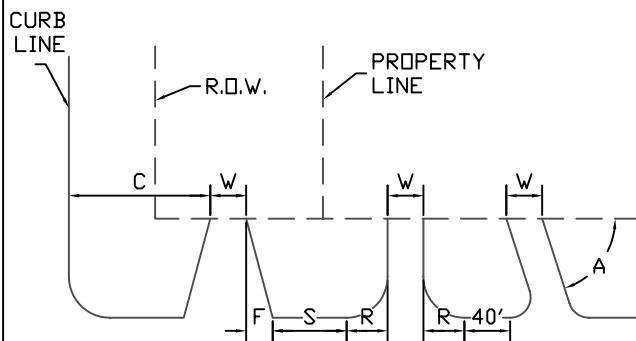
1	12/1/04	ELJ		
REV.	DATE	BY	CURB DROP DETAIL RESIDENTIAL	FIGURE:
DATE: 11-14-02				SHEET 1 OF 1



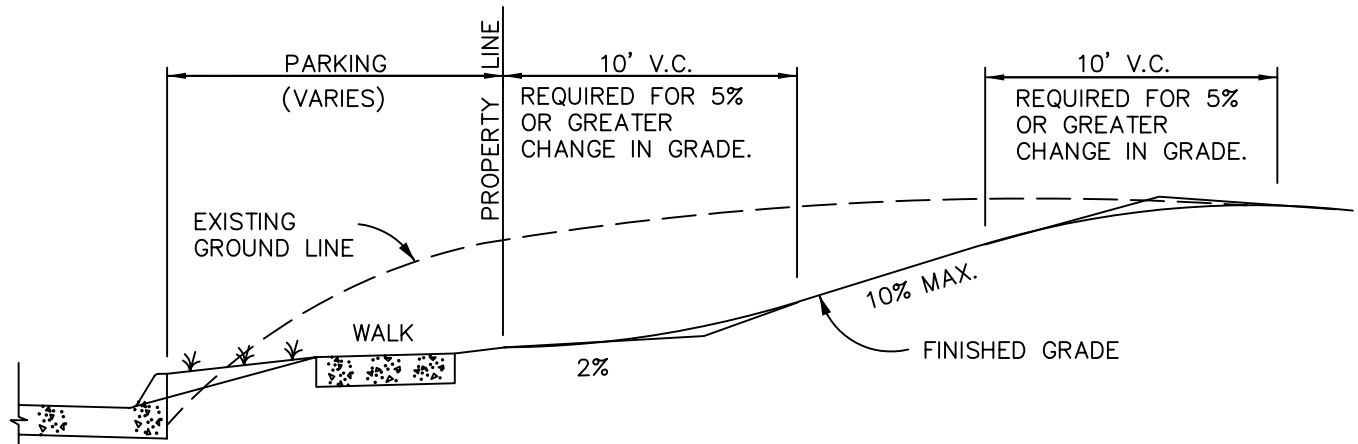
NOTE: MASTIC JOINT IS OPTIONAL
AT STREET ONLY IF JOINT IS
USED AT PROPERTY LINE.

AS APPROVED BY PUBLIC WORKS

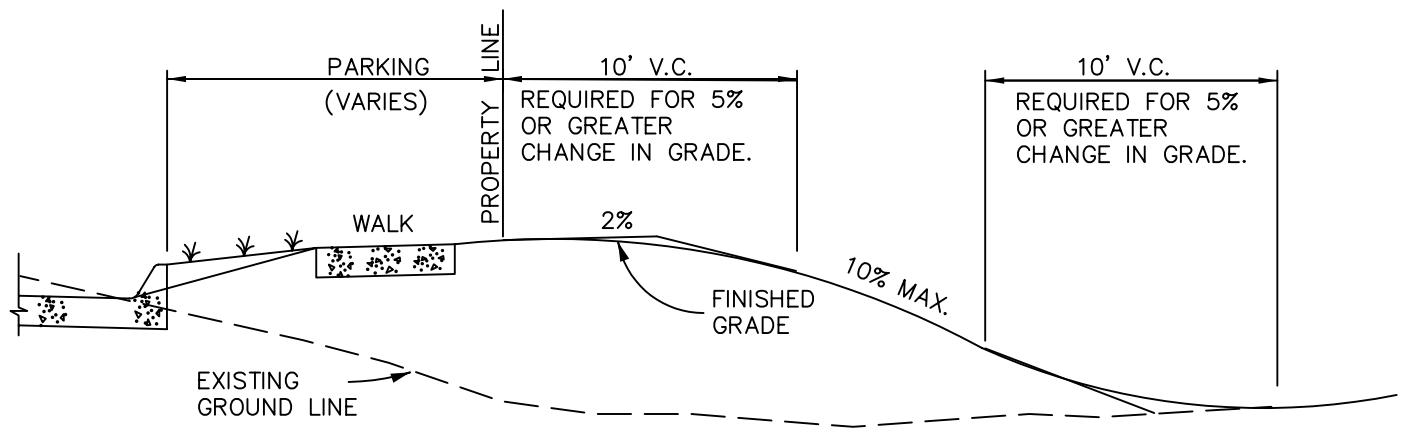
	COMMERCIAL	INDUSTRIAL
WIDTH - W MINIMUM MAXIMUM	(1-WAY)(2-WAY) 12' 25' 16' 35'	20' 40'
RADIUS OR FLARE MINIMUM MAXIMUM	FLARE, F RADIUS, R 5' 10' 10' 20'	RADIUS, R 20' 30'
ANGLE - A DESIRABLE MINIMUM	90° 60°	90° 60°
SPACING BETWEEN DRIVES ACROSS A PROPERTY LINE - S BETWEEN DRIVES ON ONE PROPERTY - S FROM CROSS STREET - C	0 40' 50'	0 40' 50'



			CURB DROP DETAIL COMMERCIAL	FIGURE:	
REV.	DATE	BY		DATE: 11-14-02	SHEET 1 OF 1

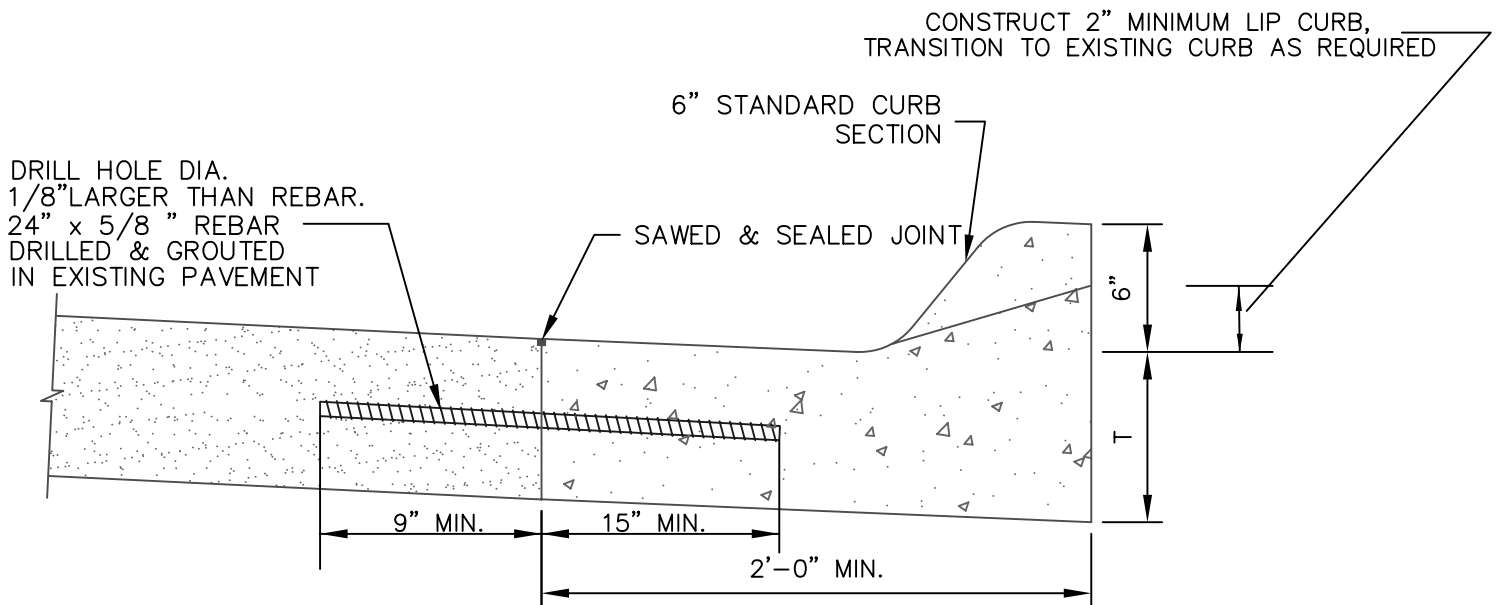
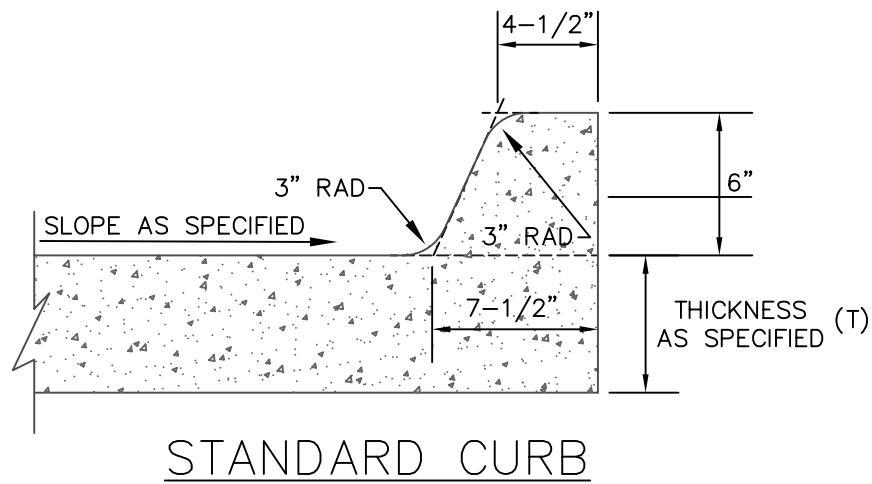


DRIVEWAY GRADING DETAIL IN CUT SECTION
(C PROFILE SHOWN)



DRIVEWAY GRADING DETAIL IN FILL SECTION
(C PROFILE SHOWN)

REV.	DATE	BY	DRIVEWAY GRADING DETAIL	FIGURE: 7030.1
DATE: 01-01-98				SHEET 1 OF 1



NOTES:

1. LOCATION AND LENGTH AS SHOWN ON PLANS & STDS.
2. DIMENSION "T" IS SLAB THICKNESS SPECIFIED.

TIED CURB SECTION DETAIL

NO SCALE:

CITY OF COUNCIL BLUFFS
PUBLIC WORKS

11-5-03

REVISION

RESIDENTIAL DRIVE APPROACH SKETCH SHEET

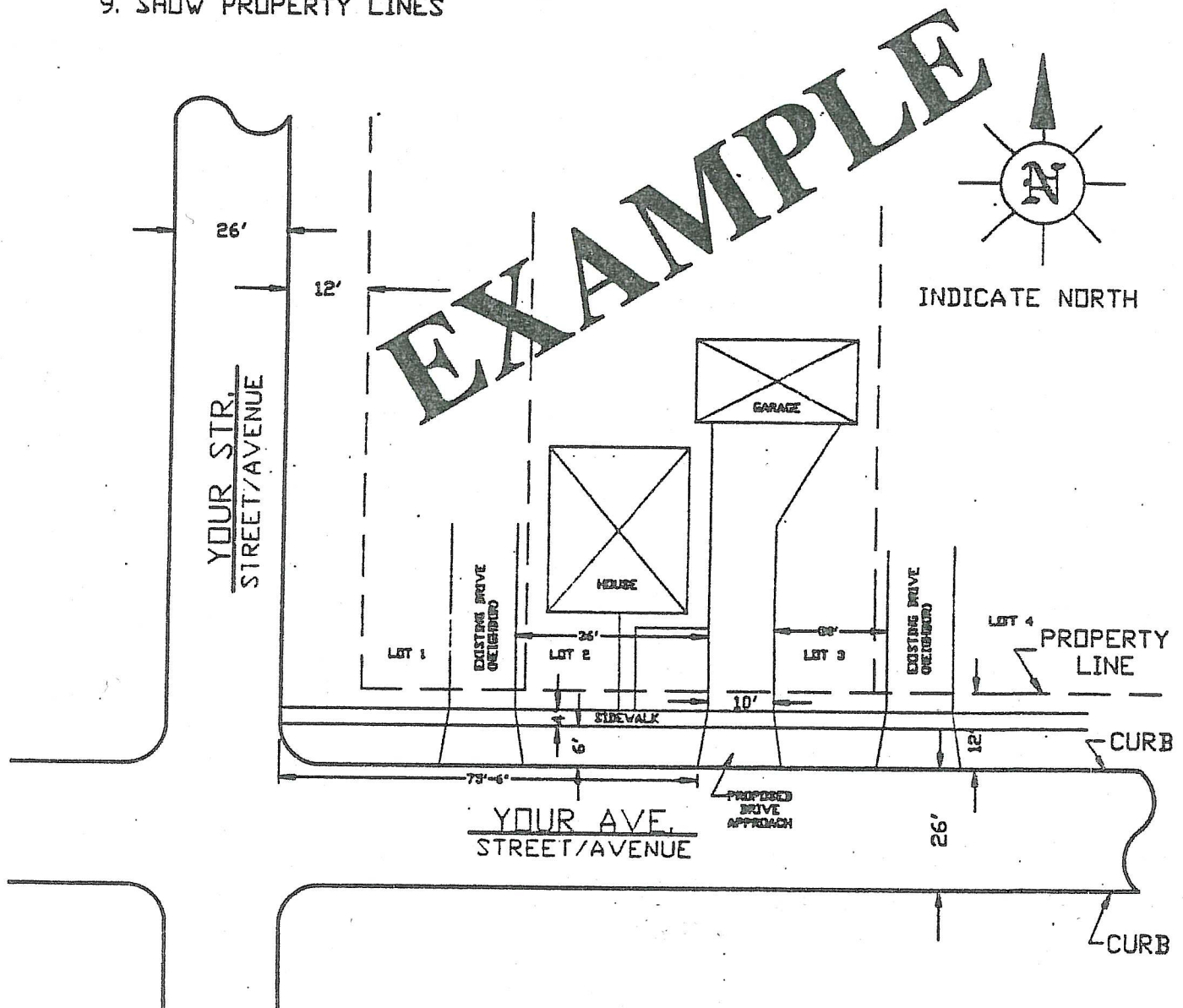
ADDRESS YOUR ADDRESS

NAME YOUR NAME PHONE YOUR NUMBER

LEGAL DESCRIPTION: LOT(S) 2&3 BLOCK 1 ADDITION BEER'S

SHOW ALL OF THE FOLLOWING INFORMATION:

1. WIDTH OF PROPOSED DRIVE APPROACH 10' FEET AT PROPERTY LINE
2. EXISTING OR PROPOSED BUILDINGS
3. STREET WIDTH 26' FEET
4. DISTANCE TO NEAREST CROSS STREET 75.5' FEET = C
5. DISTANCE TO ADJACENT DRIVE APPROACHES AND ALLEY (IF ANY)
30' FEET TO THE RIGHT, 36' FEET TO THE LEFT
6. SIDEWALK LOCATION
7. STREET SURFACE AND TYPE, CONCRETE, ASPHALT, OILED, GRAVEL, UNPAVED
8. IS THIS A CORNER LOT YES NO
9. SHOW PROPERTY LINES



RESIDENTIAL DRIVE APPROACH SKETCH SHEET

ADDRESS _____

NAME _____ PHONE _____

LEGAL DESCRIPTION: LOT(S) _____ BLOCK _____ ADDITION _____

SHOW ALL OF THE FOLLOWING INFORMATION:

1. WIDTH OF PROPOSED DRIVE APPROACH _____ FEET AT PROPERTY LINE
2. EXISTING OR PROPOSED BUILDINGS
3. STREET WIDTH _____ FEET
4. DISTANCE TO NEAREST CROSS STREET _____ FEET = C
5. DISTANCE TO ADJACENT DRIVE APPROACHES AND ALLEY (IF ANY)
_____ FEET TO THE RIGHT, _____ FEET TO THE LEFT
6. SIDEWALK LOCATION
7. STREET SURFACE AND TYPE, CONCRETE, ASPHALT, OILED, GRAVEL, UNPAVED
8. IS THIS A CORNER LOT YES, NO
9. SHOW PROPERTY LINES

